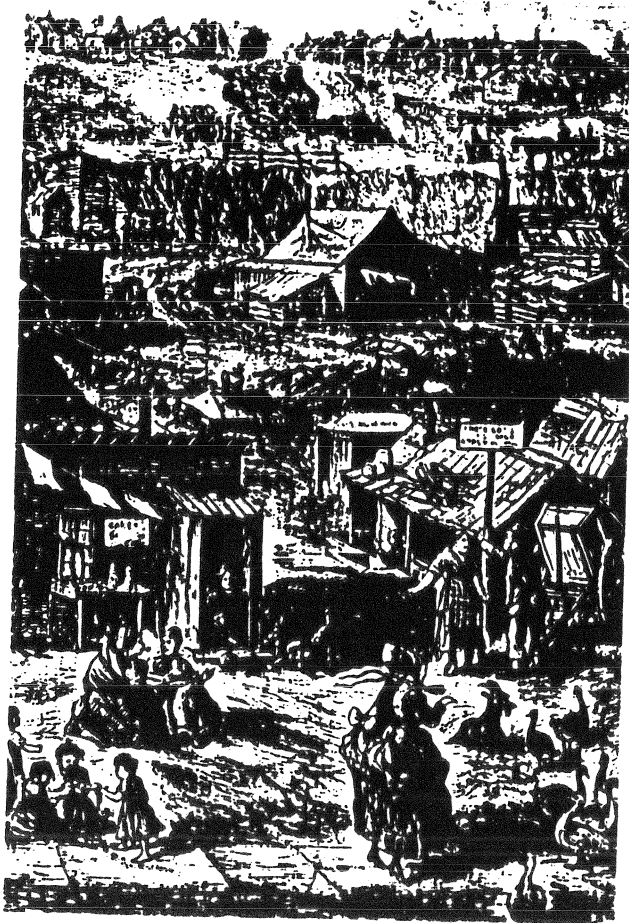


# exploring CONSTRUCTION

## COMMUNITY PLANNING & ZONING



NAME: \_\_\_\_\_ PERIOD: \_\_\_\_\_

Approximate Class Periods to Complete : \_\_\_\_\_

**ADAMS - FRIENDSHIP  
TECHNOLOGY EDUCATION**



# SUGGESTED PROCEDURE FOR PACKAGE COMPLETION

Place an X in the box as you complete these steps in your package.

- ☐ STEP 1  
Read the Introduction and Objectives
- ☐ STEP 2  
Review the Grading Sheet
- ☐ STEP 3  
Read Information Sheets
- ☐ STEP 4  
Complete Worksheet 1 and hand in for grading
- ☐ STEP 5  
Review Check Point Sheet
- ☐ STEP 6  
Complete Activity: Community Planning and Zoning



# INTRODUCTION

As cities have become larger and more complex, the need for planning has increased. That is, cities need streets, train stations, airports, public parking facilities, and recreational areas. These facilities require space. People don't want to live in a city that has wall-to-wall buildings. Cities need to be designed with the comfort, enjoyment, and safety of its citizens in mind.

The intent of this package is to introduce you to the basic concept of community planning and zoning.





# OBJECTIVES

AT THE COMPLETION OF THIS ACTIVITY THE STUDENT WILL BE ABLE:

1. To list the 7 factors that must be planned in a community.
2. To explain the use of zoning laws and their importance to a community.
3. To explain the function of an Urban Planner as opposed to a Regional Planner.
4. To understand the importance of community planning and zoning as it relates to our occupation, housing, transportation, public services, and recreation.



# INFORMATION SHEETS

A wide variety of trained professionals help to create community plans. These include: engineers, architects, landscape architects, city planners, public administrators, traffic engineers, lawyers, and housing experts. Their planning must include long and short range plans and must consider both urban and suburban areas. People who plan and organize city growth are called URBAN PLANNERS. The term URBAN means CITY. These professionals are concerned with the growth and development of cities. Some planners, called REGIONAL PLANNERS, are concerned with larger areas, involving one or more cities or large rural areas. RURAL means wide open country. In 1980, there were more than 23,000 urban and regional planners.

Community growth is a major factor in community planning. People are attracted to an area primarily by the availability of jobs. If work is available, the community will experience growth. If people cannot find work locally, the community will remain stagnant or lose population as workers go elsewhere to find jobs. In communities that are growing, planning becomes very important.

ZONING laws have been passed to organize and control planning. Zoning laws establish the types of structures that can be built on different sites. These laws are vital to a pleasant and workable environment. Certain areas are zoned, or set aside, for streets and residential areas. Still, others are zoned for manufacturing or for retail stores. Others are zoned for schools, hospitals, airports, or recreational parks. If it were not for these laws, it would be possible for anyone to build anything, anywhere they wanted. It is also important that zoning laws be flexible for future redevelopment. However, if they are not strict enough, they will not do the job they were intended to accomplish. Types of zoning include: residential, commercial, industrial, and agricultural.

Factors that must be included in every community plan are as follows: utilities, transportation, commercial, industry, housing, public services ( government, schools, hospitals, etc.), and recreational facilities.

1.) UTILITIES

Essential utilities include: water, sewage, and power systems.

- a.) Water: clean water services require construction of pumping systems, treatment plants, pipelines, dams, reservoirs, etc..
- b.) Sewage: Two areas are important in this system: Collection pipes to carry waste, and treatment plants to remove toxic materials.
- c.) Power:
  - 1. Oil and natural gas require pipelines and pumping stations
  - 2. Electricity: power stations and transmission lines are required.
  - 3. Communications: lines, towers, power and broadcasting facilities are needed for T.V., radio, telephone, and telegraph.

2.) TRANSPORTATION

Depending on the location, geography, and needs of a community, transportation services should be planned with provisions for the following types of transit: roadways, mass transit, railroads, and air travel. Not only will these facilities have to be provided, but provisions for the maintenance and up-grading must be considered. Traffic, a growing problem in today's world, must and should be studied. Computers are now being used in environmental studies to determine the best ways of coping with this menace. Population density, housing and work patterns, shipment of goods, and local geography, must all be programmed into such plans.

### 3. COMMERCIAL

Trade areas, both large and small, require their own special sectors in a community. Whether a town requires only a small business district or a huge city demands a large central business district, all must preplan for this zone.

Banks, offices, restaurants, shopping, etc., must be planned to insure that all community needs are met and that these special interest businesses do not infringe on the quality of our living environment.

### 4. INDUSTRY

To carry out their functions, industries must consider: storage, transportation of goods and workers, employee facilities (parking and working), utilities, and disposal of waste. Some of the environmental factors to consider are: air, water, and noise pollution, and traffic control.

### 5. HOUSING

Where people live and how many people can live comfortably on available lands is of vital importance. Population Density must be considered as communities plan for the present and future. To better appreciate this issue, compare 2 American cities: Manhattan, (New York City), with a population density of 68,000 people per square mile and Oklahoma City with a population density of 580 people per square mile. Manhattan has a much higher population density requiring different community planning than Oklahoma City with a low population density. Manhattan housing must be of the high rise type, while Oklahoma City can offer single homes on individual lots.

6. PUBLIC SERVICES

Now as ever before, planners are trying to incorporate public services, such as schools, libraries, government administration, and health services into the total community plan. Some new housing developments even require that adequate services be provided before construction begins. The needs of the citizens must be considered with the future in mind. Whether it's a day care center or a school system, all services must be pre-planned.

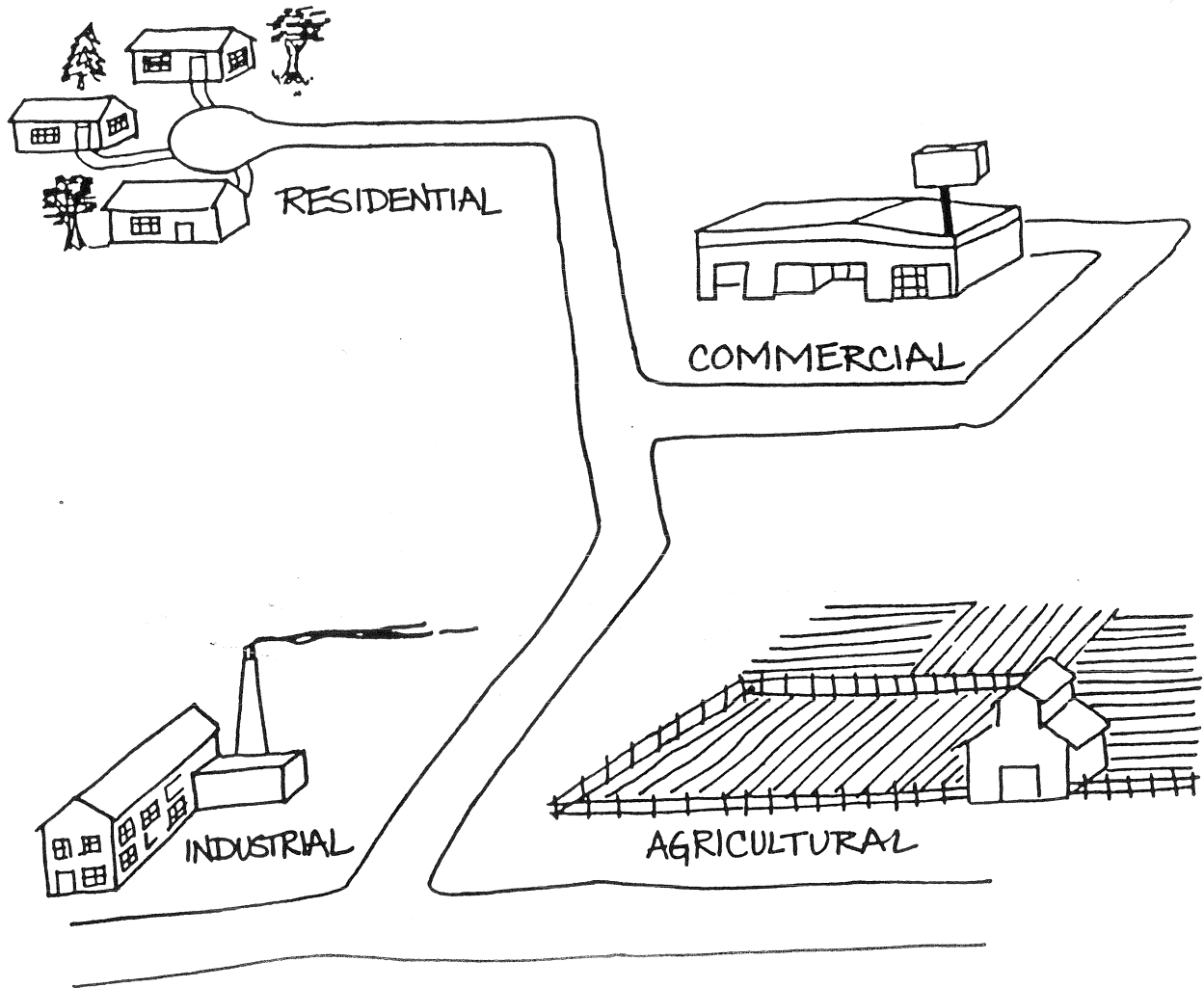
7. RECREATIONAL FACILITIES

With the possibilities of a shorter work day or week, and early retirement, planners today must include provisions for parks, playgrounds, ball fields, boating, hiking, biking, fishing, camping, etc.. All age levels must be considered as well as handicapped accessibility. Public services and recreation opportunities contribute greatly to our quality of life.

## PREPARING FOR CONSTRUCTION

### COMMUNITY PLANNING

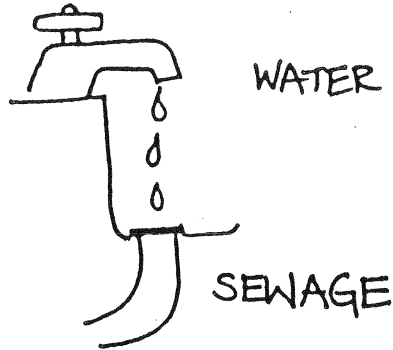
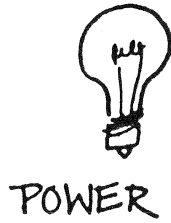
PROFESSIONAL PREPARE LONG AND SHORT RANGE PLANS



ZONING — WHAT CAN BE BUILT AND WHERE  
(MUST BE FLEXIBLE)

\* COMMUNITY PLANNING  
MUST INCLUDE

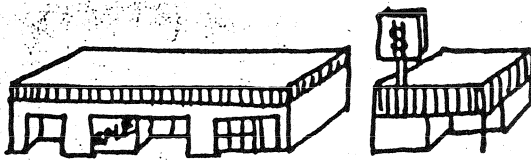
UTILITIES



TRANSPORTATION

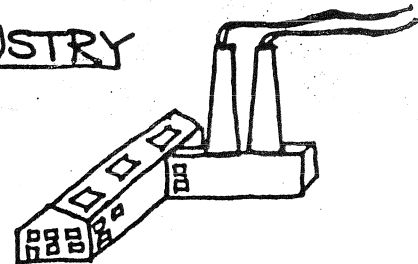


COMMERCIAL



SHOPPING CENTER

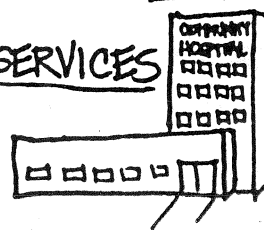
INDUSTRY



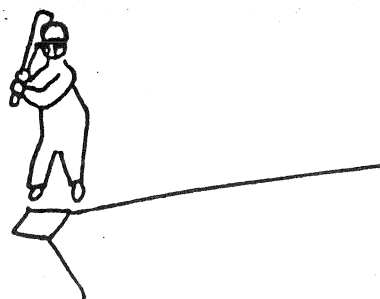
HOUSING



PUBLIC SERVICES



RECREATION



# WORKSHEET 1

( PLANNING A COMMUNITY )

Point value is located prior to each question.

(2) 1. Define Urban Planner.

(2) 2. Define Regional Planner.

(1) 3. \_\_\_\_\_ laws have been passed to organize and control city planning.

(4) 4. List the 4 basic types of zoning and briefly explain each type.

1.

2.

3.

4.

(14) 5. List the 7 factors that must be included in every community plan and give a brief explanation of each factor..

1.

2.

3.

4.

5.

6.

7.

## CHECK POINT 1



# STUDENT LEARNING ACTIVITY

( PLANNING & ZONING A COMMUNITY )

In this activity you will zone a complete community using zoning to control development and protect the environment. Remember -- Quality of Life is of extreme importance in planning a healthy community!

## PROCEDURE:

1. Study the contour map carefully and become familiar with the terrain and existing transportation services.
2. Make a list of all the zones that need to be included in your community plan in the space provided below.
3. Make a list of all public services that should be included in your community plan. Include roads, parks, bridges, hospitals, etc..

TYPE OF ZONES	PUBLIC SERVICES

## CHECK POINT 2

4. Using tracing paper, sketch out possible zones on the contour map and finalize the size and location of each basic zone. Add basic transportation routes throughout the city.

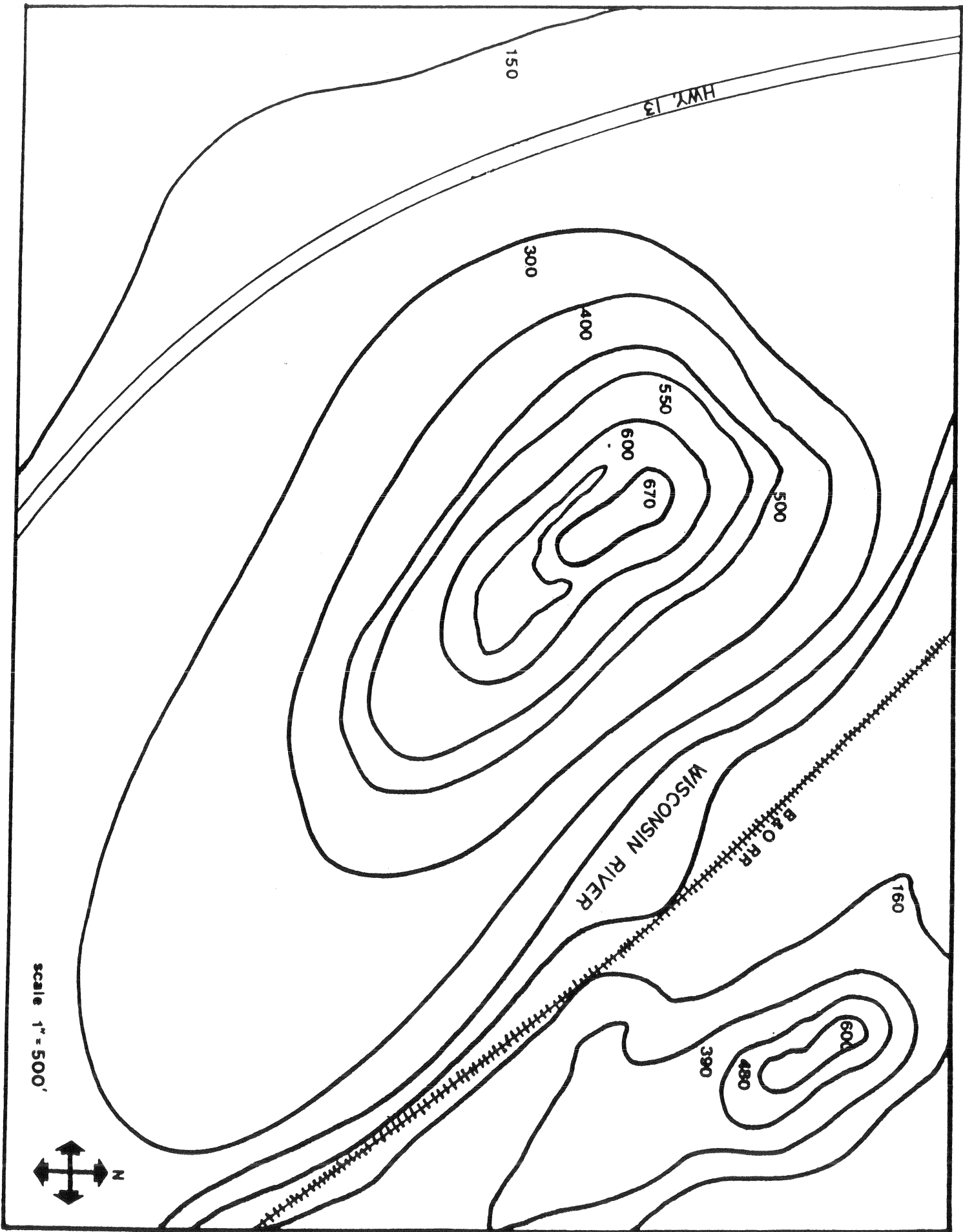
## CHECK POINT 3

5. When you are pleased with your plan, use colored markers to outline and label all zones on the original contour map.

## CHECK POINT 4

6. Be prepared to justify your zoning choices to the class.







# GRADE SHEET

(( COMMUNITY PLANNING & ZONING ))

Instructions: Throughout this booklet there are various "CHECK POINTS"

When you have completed the worksheet on activity up to

CRITERIA + POSSIBLE RECEIVED

and not past this point, have the instructor check off

off on this sheet. Point value is 5 points for each

Check-Off, with a total of 80 points.

Worksheet 1 ..... 23 \_\_\_\_\_

Check-Points..... 20 \_\_\_\_\_

(On back of this sheet)

DATE INSTRUCTOR

CHECK-POINT

Zoning Activity:

Follows Directions... 5 \_\_\_\_\_

Workmanship..... 5 \_\_\_\_\_

(Neatness, Accuracy)

Zone Layout..... 30 \_\_\_\_\_

TOTAL 83 \_\_\_\_\_

## GRADE BREAKDOWN

A = 83-78

B = 77-71

C = 70-64

D = 63-58

F = 57- 0

# CHECK POINT SHEET

( COMMUNITY PLANNING & ZONING )

Instructions: Throughout this booklet there are various "CHECK POINTS".

When you have completed the worksheet or activity up to  
and not past this point, have the Instructor check you  
off on this sheet. Point value is 5 points for each  
Check-Off , with a total of 20 points.

CHECK-POINT

INSTRUCTOR

DATE

1. Completing Worksheet.....

2. Completion of Zone & Service Lists....

3. Completion of Preliminary Tracing.....

4. Completion of Final Zoning Plan.....

# PACKAGE RATING SCALE

Circle the answer in each question that best describes your feeling. Add any comments in the space provided.

1. How did you find the reading of this package?

(a) difficult      (b) At my level      (c) Too easy

Comments:

2. Did the objectives explain clearly what you were suppose to learn?

(a) unclear      (b) somewhat clear      (c) very clear

Comments:

3. Did the illustrations in the package help you learn what was intended?

(a) not at all      (b) to a small degree      (c) very helpful

Comments:

4. The activities in this package were written:

(a) unclear      (b) somewhat clear      (c) very clear

Comments:

5. Did you feel you learned anything after completing this activity?

(a) learned nothing      (b) learned little      (c) learned a lot

Comments:

6. What did you learn from this package? Write a few sentences to answer the question.  
(Sketch if you want.)

